

Article 5 Dimensional and Intensity Regulations

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ARTICLE 5 DIMENSIONAL AND INTENSITY REGULATIONS

SECTION 5.0 PURPOSE

The purpose of this Article is to establish dimensional standards for all districts. As Article 4 deals with USES, this Article deals with the location and size of STRUCTURES. In addition to structural dimensions, this Article also contains the minimum LOT standards, which are related to the residential density (number of units per acre) and the intensity at which DEVELOPMENT occurs.

SECTION 5.1 GENERAL PROVISIONS

Section 5.1.10 Lots and Structures, Generally

5.1.11 No division of land shall be made which results in the creation of any LOT having dimensions less than the minimum required by this Article for the BUILDING or USE located thereon within the district in which the LOT is located.

5.1.12 No BUILDING, STRUCTURE, DEVELOPMENT or other improvement shall be constructed which results in any dimension or ratio that is greater than the maximum or less than the minimum required by this Article for the district in which the LOT is located.

Section 5.1.20 Specific Dimensional and Intensity Requirements

5.1.21 Lot Area

When this Article specifies a minimum LOT AREA, no PRINCIPAL BUILDING or USE shall be located on any LOT of lesser area, except as may be permitted by Section 10.2, NONCONFORMING LOTS.

5.1.22 Lot Frontage

When this Article specifies a minimum LOT FRONTAGE, no PRINCIPAL BUILDING or USE shall be located on a LOT which fronts a lesser distance on a STREET, except as may be permitted by Article 10.

5.1.23 Lot Width

When this Article specifies a minimum LOT WIDTH, no PRINCIPAL BUILDING shall be located where the LOT WIDTH is less than the specified width at the point of the BUILDING closest to the FRONT LOT LINE.

5.1.24 Open Space

When this Article specifies a minimum percentage of OPEN SPACE, no BUILDING or USE shall be located on any LOT in a manner that does not provide such OPEN SPACE.

5.1.25 Yards

When this Article specifies a minimum YARD dimension, no BUILDING or STRUCTURE shall be erected within the specified distance from the applicable LOT LINE, except as permitted hereinafter.

5.1.26 Building Height

When this Article specifies a maximum BUILDING HEIGHT no part of a BUILDING shall exceed the specified number of stories, and no part of a BUILDING shall exceed the maximum height in feet, except as permitted hereinafter.

5.1.27 Building Coverage

When this Article specifies a maximum BUILDING COVERAGE, the percentage of a LOT covered by all BUILDINGS and STRUCTURES, including ACCESSORY STRUCTURES, shall not exceed said maximum BUILDING COVERAGE, except as permitted hereinafter.

Section 5.1.30 Application of Multiple Requirements

When this Article specifies two (2) requirements for the same dimension (e.g., maximum BUILDING HEIGHT stated both in feet and in stories, or minimum SIDE YARD stated both in feet and as a percentage of BUILDING HEIGHT), the more restrictive shall apply unless explicitly stated otherwise.

SECTION 5.2 RESIDENTIAL DISTRICTS

Section 5.2.10 Dimensional and Intensity Regulations in Residential Districts

For the dimensions of MIXED USE BUILDINGS with Dwelling Units located in non-residential ZONING DISTRICTS, see Section 5.3.20 and table 5-6.

Table 5-1 Dimensional and Intensity Regulations – Residential Districts							
Legend							
OS = Open Space		Res A/A1= Residential A, A-1		Res B/B1 = Residential B, B-1			
		Res C = Residential C		Res C-1 = Residential C-1		Res C-2 = Residential C-2	
Principal Use	Res A1	Res A	Res B	Res B1	Res C	Res C-1	C2
MINIMUM LOT AREA PER DWELLING UNIT (SQUARE FEET)							
Single-family dwelling	10,000	7,500	6,000	4,500 ¹	4,500	5,000	N
Two-family dwelling	N	N	4,000	3,000 ¹	3,000	4,000	N
Townhouse	N	N	N	2,500	2,000	2,500	2,000
Apartment building							
Units with 2 or more bedrooms	N	N	N	N	2,000	5,000	580
Units with less than 2 bedrooms	N	N	N	N	1,400	4,000	580
MINIMUM FRONTAGE (FEET) FRONT LOT LINE							
Single-family dwelling	50	50	50	45	45	30	N
Two-family dwelling	N	N	50	50	50	50	N
Townhouse	N	N	N	25	25	25	25
Apartment building	N	N	N	N	50	30	25
MINIMUM LOT WIDTH (FEET)(at Building Line)							
Single-family dwelling	100 ²	75	60	45	45	n.r.	N
Two-family dwelling	N	N	80	50	60	n.r.	N
Townhouse	N	N	N	25	25	n.r.	25
Apartment building	N	N	N	N	75	n.r.	25
MINIMUM FRONT YARDS (FEET)							
Minimum	25	25	15	10 ³	10 ³	25	25

Table 5-1 Dimensional and Intensity Regulations – Residential Districts							
Legend							
OS = Open Space		Res A/A1= Residential A, A-1		Res B/B1 = Residential B, B-1			
Res C = Residential C		Res C-1 = Residential C-1		Res C-2 = Residential C-2			
Principal Use	Res A1	Res A	Res B	Res B1	Res C	Res C-1	C2
MINIMUM SIDE AND REAR YARDS - PRINCIPAL BUILDINGS							
Side Yard							
Feet	10 ⁷	10 ⁷	10 ⁷	7 ⁴	7 ⁷	25	25
% of height of principal building	n.r.	n.r.	n.r.	n.r.	n.r.	50%	50%
Rear Yard							
Feet	35	30	25	20	20	25	25
% of height of principal building	n.r.	n.r.	n.r.	n.r.	n.r.	50%	50%
MINIMUM SIDE AND REAR YARDS - RESIDENTIAL GARAGES AND OTHER ACCESSORY BUILDINGS							
(Also refer to Article 4, Section 4.4.14)							
Side Yard							
Feet	3 ⁵	3 ⁵	3 ⁵	0 ⁵	3 ⁵	10	10
% of height of principal building	n.r.	n.r.	n.r.	n.r.	n.r.	50%	50%
Rear Yard							
Feet	3	3	3	3	3	10	10
% of height of principal building	n.r.	n.r.	n.r.	n.r.	n.r.	50%	50%
OPEN SPACE AND LANDSCAPING							
	n.r.	n.r.	n.r.	5%	5%	20,000 sf for each 50 units	10%
Minimum open space	n.r.	n.r.	n.r.	5%	5%	30%	10%
Minimum landscaped portion of area between the front wall of the principal building and the street	75%	75%	75%	50%	50%	n.r.	n.r.

Table 5-1 Dimensional and Intensity Regulations – Residential Districts							
Legend							
OS = Open Space		Res A/A1= Residential A, A-1		Res B/B1 = Residential B, B-1			
Res C = Residential C		Res C-1 = Residential C-1		Res C-2 = Residential C-2			
Principal Use	Res A1	Res A	Res B	Res B1	Res C	Res C-1	C2
MAXIMUM BUILDING HEIGHT OR STRUCTURE HEIGHT							
Principal buildings							
Stories	2.5	2.5	2.5	3	3	2.5	
Feet	35	35	35	35	35	35	150 ⁶
School, college, university, library, or municipal building, or church belfry or flagpole							
Stories	3	3	3	3	3	4	4
Feet	60	60	60	35	60	60	60
Residential Garage (feet)	20	20	20	20	20	25	25
Other Accessory Structure (feet)	15	15	15	15	15	25	25

N = Use not permitted n.r. = no regulation

- ¹ In the Residential B-1 district, if a Special Permit is granted to authorize more than one SINGLE-FAMILY or TWO-FAMILY DWELLING ON a LOT, the required LOT AREA shall be the sum of the minimum required LOT AREAS for all DWELLINGS on the LOT.
- ² In the Residential A-1 district, if the LOT DEPTH is greater than 100 feet, the LOT WIDTH may be reduced below the 100-foot minimum by 1 foot for each 2 feet by which the 100-foot depth is exceeded, but the width may not be reduced to less than ninety (90) feet.
- ³ In the Residential B-1 district, the required SIDE YARD shall be zero (0) feet for Townhouses.
- ⁴ In the Residential B-1 district, the minimum FRONT YARD shall be five (5) feet for Townhouses.
- ⁵ The required SIDE YARD shall be ten (10) feet for any portion of a detached RESIDENTIAL GARAGE that is less than sixty-five (65) feet from any FRONT LOT LINE. The distance between such detached RESIDENTIAL GARAGE and the PRINCIPAL BUILDING shall be not less than six (6) feet.
- ⁶ In the Residential C-2 district, a nonresidential PRINCIPAL BUILDING shall not exceed four (4) stories or sixty (60) feet.
- ⁷ In the case of a corner lot, there shall be equal to or greater than fifteen (15) feet between the building and the side property line fronting on a street.

Section 5.2.20 Maximum Building Coverage in Residential Districts

5.2.21 The maximum BUILDING COVERAGE in residential districts shall be as follows:

Table 5-2 Maximum Building Coverage – Residential Districts		
Legend OS = Open Space Res A/A1= Residential A, A-1 Res B/B1 = Residential B, B-1 Res C = Residential C Res C-1 = Residential C-1 Res C-2 = Residential C-2		
Zoning Districts	Lot Area (sq. ft.)	Maximum BUILDING COVERAGE
Res A-1 Res A Res B	Up to 7,500	35%
	7,501 – 20,000	30%
	20,001 – 30,000	25%
	30,001 – 45,000	20%
	45,001 – 60,000	15%
	More than 60,000	10%
Res B1	Any	50%
Res C	Any	50%
Res C-1	Any	30%
Res C2	Any	30%
Res O	Any	50%

Section 5.2.30 Dimensional Regulations for Large Buildings in Residential A-1, A and B Districts

In the Residential A-1, A and B ZONING DISTRICTS, the following requirements shall supersede the corresponding requirements specified elsewhere in this Article for any LOT where the BUILDING FOOTPRINT of the PRINCIPAL BUILDING is greater than 2,000 square feet. HOSPITALS and their Accessory Uses and Buildings are exempt from this sub section. See table 5-3.

Table 5-3 Lot Frontage, Width and Yards for Large Buildings in Residential A-1, A and B Districts	
STANDARDS	REQUIREMENTS
Minimum Frontage	100 feet

Table 5-3 Lot Frontage, Width and Yards for Large Buildings in Residential A-1, A and B Districts	
STANDARDS	REQUIREMENTS
Minimum width at front line of principal building	100 feet
Minimum Yards	
Front Yard	25 feet
Side Yard	Height of principal building (feet)
Rear Yard	Greater of (a) 35 feet or (b) height of principal building
Minimum landscaped portion of area between the front wall of the principal building and the street	75%

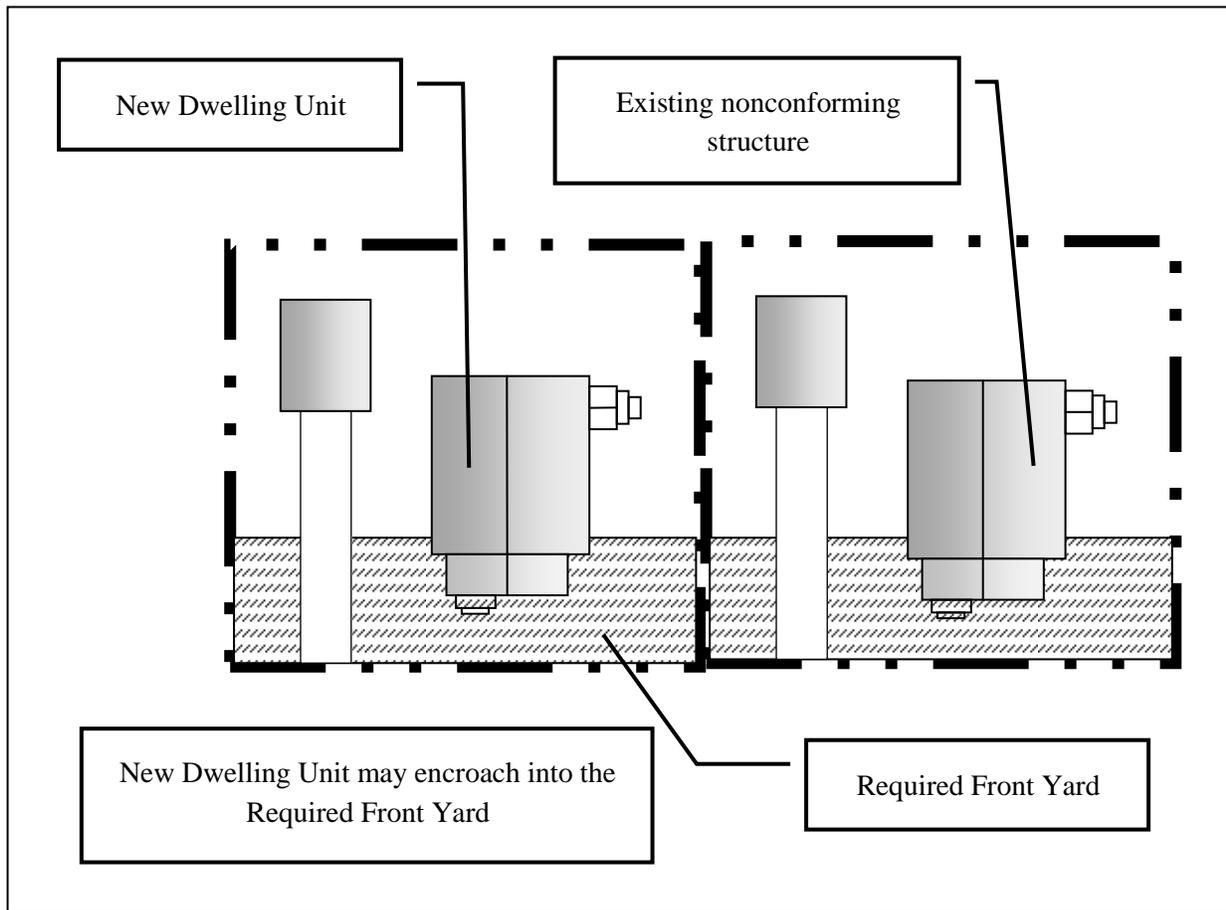
Section 5.2.40 Exceptions to Yard Requirements in Residential Districts

5.2.41 Front Yard Exceptions for Existing Alignments

- A. Notwithstanding any minimum REQUIRED FRONT YARD specified in this Article, the front wall of a BUILDING in a residential district may be as close to the STREET as the front wall of the nearest BUILDING facing the same side of the same STREET in the same block. See figure 5-1.

- B. Notwithstanding any FRONT YARD requirement specified in this Article, the front wall of a BUILDING in a residential district may be as far from the STREET as the actual setback of the nearest existing DWELLING facing the same side of the same STREET. If there are no DWELLINGS on the same block, the nearest DWELLING on the same side of the STREET shall be used. Further, the front wall of any building shall be set back no farther than the rear wall of the nearest building on either side thereof facing the same street.

Figure 5-1 Front Yard Exception



5.2.42 Projections into Yards

- A. Uncovered steps and ramps may extend into a required YARD.
- B. In the Residential districts, a roofless, ground story projection from a BUILDING, such as DECK, may extend into any required REAR YARD provided that it is no less than fifteen (15) feet from a REAR LOT LINE.

Section 5.2.50 Structures Prohibited Between Principal Building and Street

No BUILDING, pool or other STRUCTURE, except for necessary retaining walls and FENCES permitted by Section 7.4.20, shall be located between the front wall of the PRINCIPAL BUILDING and the STREET.

Section 5.2.60 Required Landscaping Between Principal Building and Street

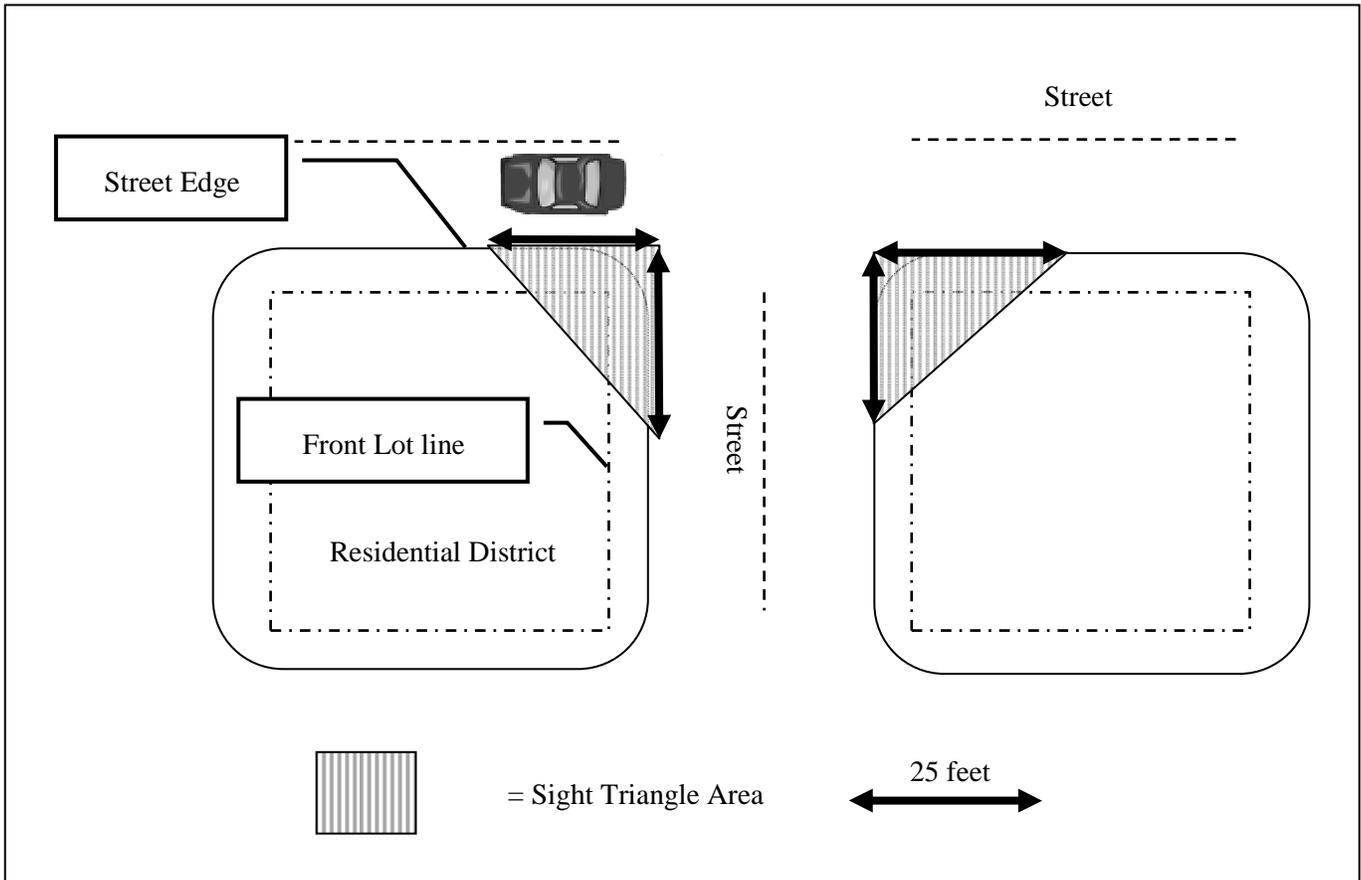
When this Article specifies a minimum landscaped area between the front wall of the PRINCIPAL BUILDING and the STREET, such area shall comply with the following requirements:

- 5.2.61 The required landscaped area shall be improved with planted materials such as grass, trees, shrubs, and other live plant materials.
- 5.2.62 The required landscaped area shall be free of structural improvements and impervious surfaces except for the following:
- A. Necessary retaining walls;
 - B. Projections into FRONT YARDS as allowed by Section 5.2.42.
 - C. Two access sidewalks not exceeding four (4) feet in width each; or
 - D. Fences, if permitted by Section 7.4.20.
- 5.2.63 No parking shall be allowed in the required landscaped area or the required front yard.

Section 5.2.70 Sight Triangle on Corner Lots in Residential Districts

- 5.2.71 On CORNER LOTS in Residential districts, no BUILDING, FENCE or other STRUCTURE (other than necessary retaining walls) shall be constructed in the SIGHT TRIANGLE. No vegetation shall be placed or maintained, between a height of two and one-half (2 ½) feet and a height of ten (10) feet above the STREET surface within the Sight Triangle as illustrated in Figure 5-2. The same vision obstruction restrictions apply for that portion of the corner lots rear line from the street line for a distance equal to the abutter's setback but in no case need this distance exceed twenty five (25) feet. Poles, post and/or guys for streetlights and for other utility services, and tree trunks exclusive of leaves and branched, shall not be considered obstructions to vision within the meaning of this provision.

Figure 5-2 Sight Triangle



5.2.72 Poles, posts, and guys for STREET lights and for other utility services, and tree trunks exclusive of leaves and branches, shall not be considered obstructions to vision within the SIGHT TRIANGLE within the meaning of this provision.

Section 5.2.80 Orientation of Dwellings in Interior Lots

The front of a SINGLE-FAMILY DWELLING or TWO-FAMILY DWELLING on an INTERIOR LOT shall face the STREET and contain the main door.

SECTION 5.3 BUSINESS DISTRICTS

Section 5.3.10 Dimensional and Intensity Regulations in Business Districts

Table 5-4 Dimensional and Intensity Regulations – Business Districts Legend: OA = Office A Com P = Commercial Parking Com A = Commercial A Bus A = Business A Bus B = Business B Bus C = Central Business District Bus D = Regional Shopping								
	OA	Com P	Com A	Bus A	Bus B	Bus B-1	Bus C	Bus D
Lot Area, minimum square feet	6,000	n.r.	n.r.	n.r.	n.r.	n.r.	n.r.	n.r.
Lot Frontage , minimum (feet)	50	n.r.	n.r.	n.r.	n.r.	n.r.	n.r.	n.r.
Lot Width , minimum (feet)	75	n.r.	n.r.	n.r.	n.r.	n.r.	n.r.	n.r.
Front Yard (feet) Minimum	25	n.r.	20	10 ¹	10 ¹	10 ¹	0	0
Side Yard, minimum (feet) Abutting a residential district	3	10	10	10	10	10	10	10
Abutting a nonresidential district	3	0	10	0	0	0	n.r. ¹	0
Rear Yard, minimum (feet) Abutting a residential district	25		10	10	10	10	10	10
Abutting a nonresidential district	0		0	0	0	0	n.r. ²	0
Building Height , maximum								
Stories	2	2	2	4	n.r.	n.r.	n.r.	n.r.
Feet	35	30	30	60	60	60	400	60
Building Coverage, maximum	55%	35%	55%	75%	80%	80%	95%	100%

n.r. = no regulation

¹ In a case where an adjacent building on either side, along the same street and within the same district, is located closer to the street line then the new building may conform to the lesser setback.

² The minimum SIDE YARD and REAR YARD shall be 20 feet for a BUILDING used in whole or part for residential use.

Section 5.3.20 Maximum Residential Density in Business Districts

- 5.3.21 Residential uses located within Office A shall follow the dimensional regulations outlined for Residence B, as found in Section 5.2.
- 5.3.22 Residential uses located within Commercial A, Business A, Business B, Business C and Business D shall follow the dimensional regulations outlined for Residence C, as per Section 5.2¹.
- 5.3.23 Residential development is not allowed within Commercial P or Business B-1 districts.
- 5.3.24 Within the Industrial A district, no building or other structure(s) shall be erected, altered or use and no land shall be used or occupied for residential purposes, EXCEPT, where subdivision plans or individual building lots existed, and were duly recorded or registered, prior to the enactment of this ordinance.

¹ For ground floor residential, refer to Article 4, Section 4.4.13.

SECTION 5.4 INDUSTRIAL DISTRICTS

Table 5-6 Dimensional Requirements – Industrial Districts			
Legend			
MUI = Mixed Use Industrial IA = Industrial A IP = Industrial Park			
	Industrial MU	Industrial A	Industrial Park
Minimum Lot Area	n.r.	n.r.	1.5 ac
Minimum Lot Frontage (ft.)	n.r.	n.r.	200
Minimum Lot Width (ft.)	n.r.	n.r.	200
Yards (feet):			
Front Yard, Minimum	n.r.	n.r.	25 feet
Front Yard, Maximum	n.r.	n.r.	n.r.
Side Yard, Minimum	n.r.	n.r.	15
Rear Yard, Minimum	n.r.	n.r.	25
Maximum Building Height	100 feet	100 feet	100 feet
Maximum Building Coverage	Nonresidential use: 90%; Residential or mixed use: 60%	95%	50%
Residential Density	75 dwelling units per acre	N	N

n.r. = no regulation N = prohibited use

SECTION 5.5 USABLE OPEN SPACE FOR APARTMENT BUILDINGS

Except in the Business C District and the Casino Overlay District, one (1) or more LOTS in common ownership containing a total of fifty (50) or more DWELLING UNITS in one (1) or more APARTMENT BUILDINGS shall provide twenty thousand (20,000) square feet of USABLE OPEN SPACE for the first fifty (50) DWELLING UNITS plus four hundred (400) square feet for each DWELLING UNIT in excess of fifty (50). This requirement may be modified or waived in the course of site plan review or special permit review.

SECTION 5.6 EXCEPTIONS TO MAXIMUM BUILDING HEIGHT

The City Council may grant a Special Permit to allow a steeple, monument, TOWER or other STRUCTURE not intended for occupancy to be erected to a greater height than specified in this Article, except that TOWERS for WIRELESS COMMUNICATIONS FACILITIES shall be subject to Section 6.1. This requirement of a special permit shall not apply to religious or educational Uses protected by the provisions of Section 4.6.